

Reference Number: Erf 21028 and 21029, George

Date: 01 December 2020

Enquiries: Primrose Nako

VILLAGE RIDGE
15 Waterfront
Tyger Waterfront
BELVILLE
7530

By Hand

**APPLICATION FOR ARCHITECTURAL GUIDELINES: ERF 21028 & 21029,
VILLAGE RIDGE, GEORGE**

Your application in the above refers.

The Deputy Director: Planning (Authorised Official) has, under delegated authority, WW.1.33 of 29 July 2015 that approval is herewith granted for Erf 21028 & 21029, George (Village Ridge) in terms of section 15(2)(l) of the Land-Use Planning By-Law for George Municipality, 2015 for the following:

1. Village Ridge Architectural Guidelines. Dated: 28 September 2020

REASONS FOR DECISION:

- a. The proposed design will not be out of character with the surrounding neighbourhood;
- b. The Architectural Guidelines were recommended for approval by the Aesthetics Committee (*attached as "Annexure B"*).
- c. Comments from the Aesthetics Committee were incorporated in the Architectural Guidelines.
- d. The design guidelines comply with the George Integrated Zoning Scheme By-Law, 2017 as well as the Land-Use Planning By-Law for George Municipality, 2015;

You have the right to appeal to the Appeal Authority against the decision of the Authorised Official, in terms of Section 79(2) of the George Municipality's By-law on Municipal Land Use Planning.

- A detailed motivated appeal with reasons should be directed to and received by the Appeal Authority, P O Box 19, George **on or before 22 DECEMBER 2020**.
- An appeal that is not lodged within this timeframe or that does not comply with Section 80 of the George Municipality's By-law on Municipal Land Use Planning will be deemed invalid.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Kindly note that in terms of Section 80(14) of the George Municipality's By-law on Municipal Land Use Planning, the above decision is suspended until such time as the period for lodging an appeal has lapsed, any appeal has been finalized and you have been advised accordingly.

Yours Faithfully



D. POWER

DEPUTY DIRECTOR: PLANNING AND DEVELOPMENT

P:\Approvals & Refusals 2018, 2019 & 2020\Erf 21028 & 21029, George (Village Ridge) .docx

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Village Ridge Architectural Guidelines

Date:	Revision:	Changes:
2020-07-21	0	1 st Issue to George Municipality
2020-09-28	1	Street Boundary Walls no longer mandatory Palisade removed.

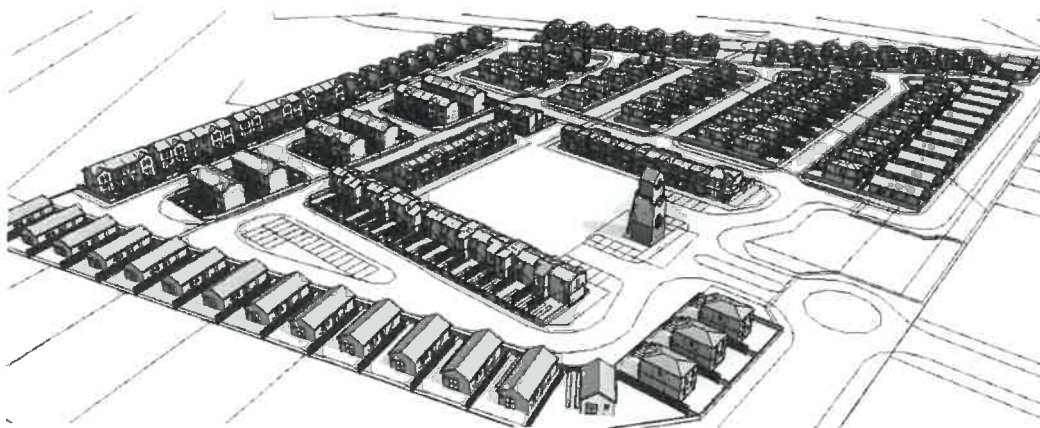


Figure 1 Overview

- OTB Architects (pty) ltd 2017/193470/07 – P.J. de Wet director
- PR.Arch 2475 1047 (SACAP) – M.Arch.Prof (NMMU)

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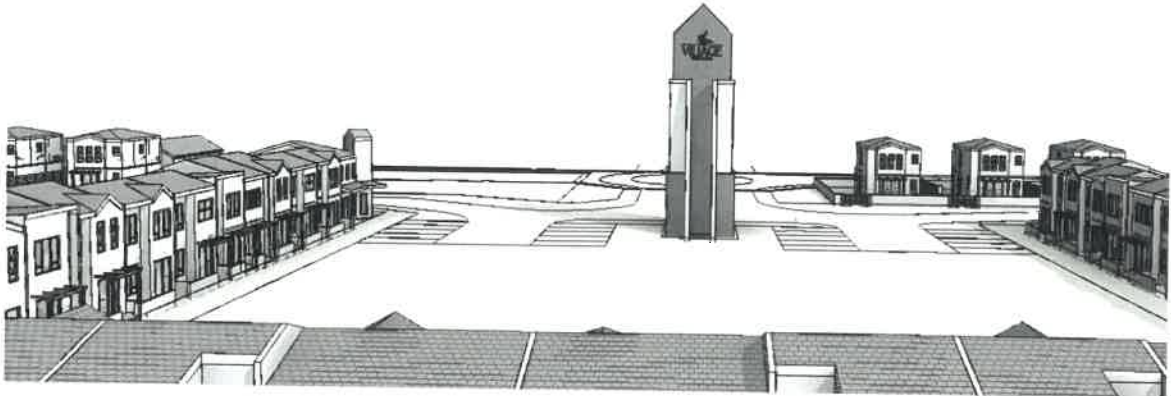


Figure 2 View of the village green

Introduction

Architectural Vision

The architectural vision for the development area is to have a suburb which is village like in the region. Buildings may have a vernacular character and be architecturally rich. Initially homes may look alike but it is anticipated and encouraged to over time take on the character and personality of the area. The open spaces are landscaped and designed to be a platform for a thriving and lively area. Homes are encouraged to vary roof pitches from the neighbours as well as to vary in roof colour and material.

These guidelines explain the boundary wall requirements as well as the minimum specifications on the exterior of the buildings for future extensions.

Spatial framework.

The open elements which make up the public space are primarily the Village Green Square and the Green strip connecting the village green and the river. These are landscaped green areas.



Figure 3 Suburb's master layout

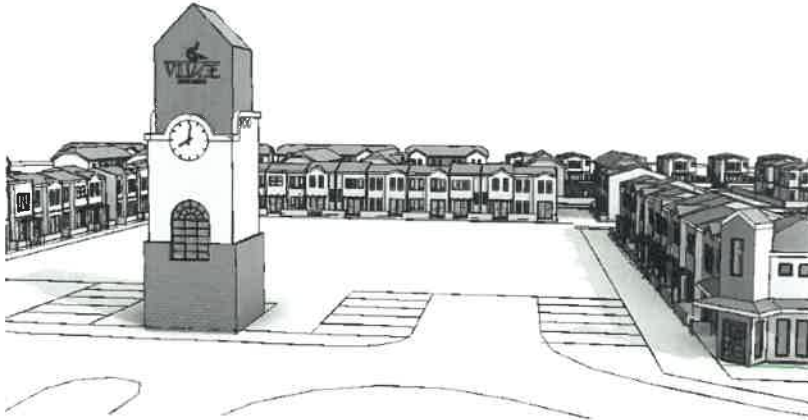
- OTB Architects (pty) ltd 2017/193470/07 – P.J. de Wet director –
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Building types

Village Green Homes

These are double storey homes on the perimeter of the village green.



Village Green Shops

These are double storey shops on the perimeter of the village green.



Row Houses

These are double storey detached homes in series of 4,5 or 6 units in a row.

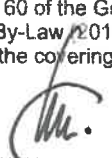


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Single Homes

Freestanding homes, single or double storey with or without a garage.



Community Facility

This is a community facility for future construction and will ideally be a creche but is not limited to this.

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General Architectural Requirements

1. Boundary walls.

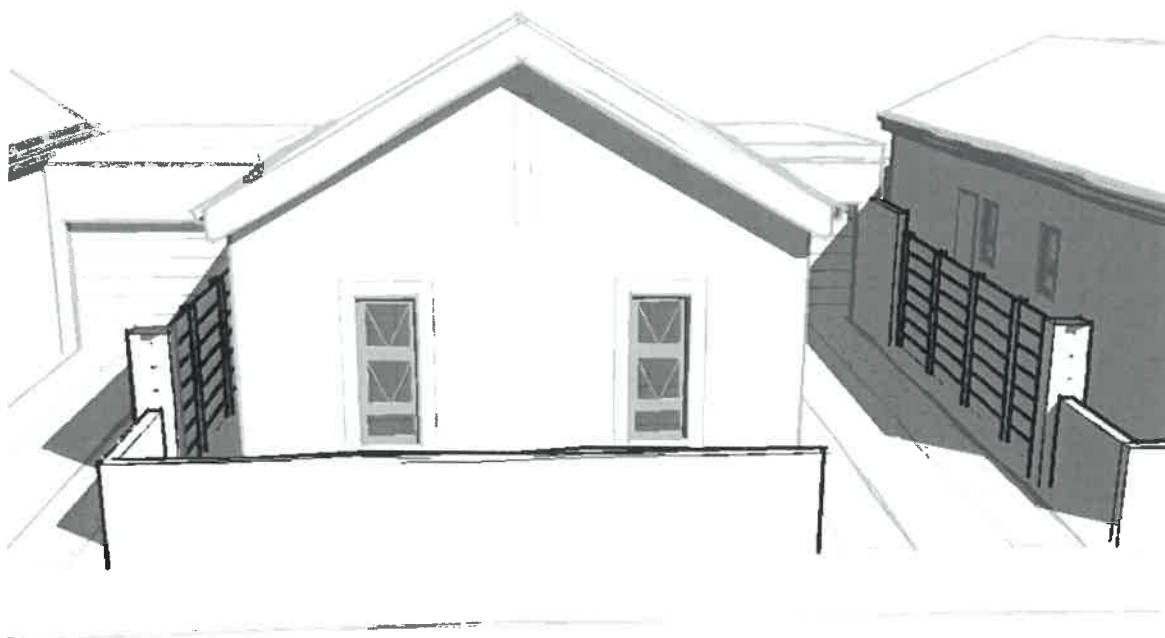


Figure 4 Minimum Requirement of a front boundary wall, should one opt to build a wall

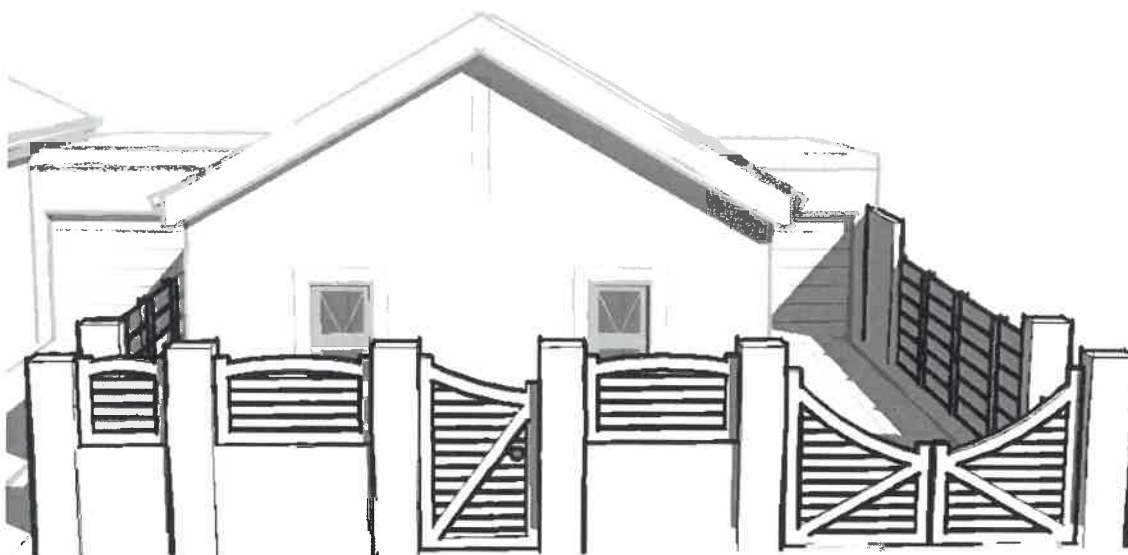


Figure 5 Concept of an extended wall within the guidelines.

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a. Front Street boundary requirements for :

i. Row Houses and Single Residential houses:

- Front Walls are to be Masonry 'werf' type walls and are to be built up to a maximum of 1000mm high.
- A screen wall may be built above the masonry wall as long as it is a light, transparent, and tensile type system, such as betafence, clearvu, wrought iron, timber panels or palisade for security. Masonry Columns are Permitted up to 2200mm high to support the tensile structures/timber panels.
- On the 'werf' type walls and columns, architectural detail are such as shaped copings are encouraged. The finish of the 'werf' wall must be plastered and painted. Plaster texture may wave slightly as is vernacular or may be plastered smooth. The profile of the wall may have a half-round shape, square plaster, or shaped plaster. Variety of wall copings is encouraged in the streetscape.
- The Street Boundary Wall may be omitted and replaced with an open lawn or a hedge for a leafy/ open streetscape.

ii. Village Green Homes and Shops:

- Front walls for homes around the village green may be built up to a maximum of 600mm high, but may include columns up to 2200mm high. Columns may make up a maximum of 40% of the entire façade's length. i.e. the sum of the length of the columns may not make up more than 40% of the length of the boundary.
- A screen wall may be built above the masonry wall as long as it is a light, transparent, and tensile type system, such as betafence, clearvu, wrought iron, timber panels for security. Masonry Columns are Permitted up to 2200mm high to support the tensile structures/timber panels.

iii. Community Facility:

- The rules for the Single residential and row houses apply to the community facility.

b. Side boundary walls

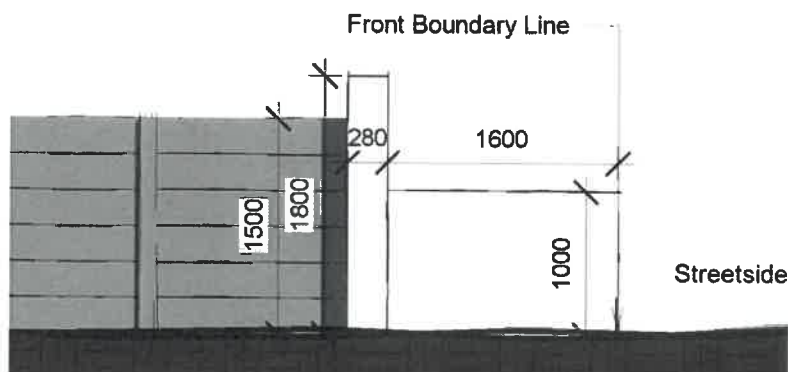


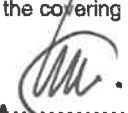
Figure 6 View of the requirements of the sidewalls

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- i. These may be precast concrete or masonry walls up to 1800mm high or whatever height the local authority may allow, but need to be masonry for 1600mm from a street front boundary with a 1800mm high column as per the diagram.
 - ii. Walls facing onto public areas or streets may be precast concrete walls as per the local authority's allowable height except for the first 1800mm from the street as per the diagram above.
- c. Rear Walls
- i. Rear walls may be precast concrete as long as they are not facing a public area or street. The rules of a front boundary wall apply to walls facing public areas or streets.
 - ii. Walls that face onto public areas may only be 'werf' type walls with a maximum height of 1800mm for rear boundary walls and the front street boundary wall may a maximum of 1000mm high as per front boundary wall guidelines listed above.
 - iii. Rear walls of the riverside homes which face onto the river are encouraged to be of transparent tensile type fencing such as, clearvu/betafence.



Figure 7 View of the village green

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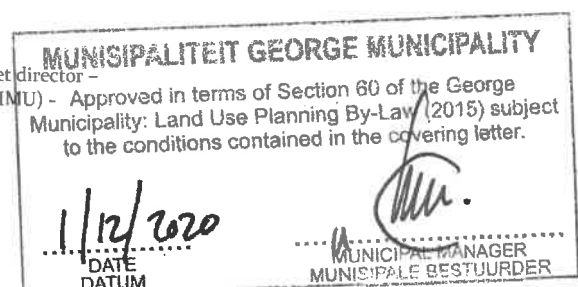
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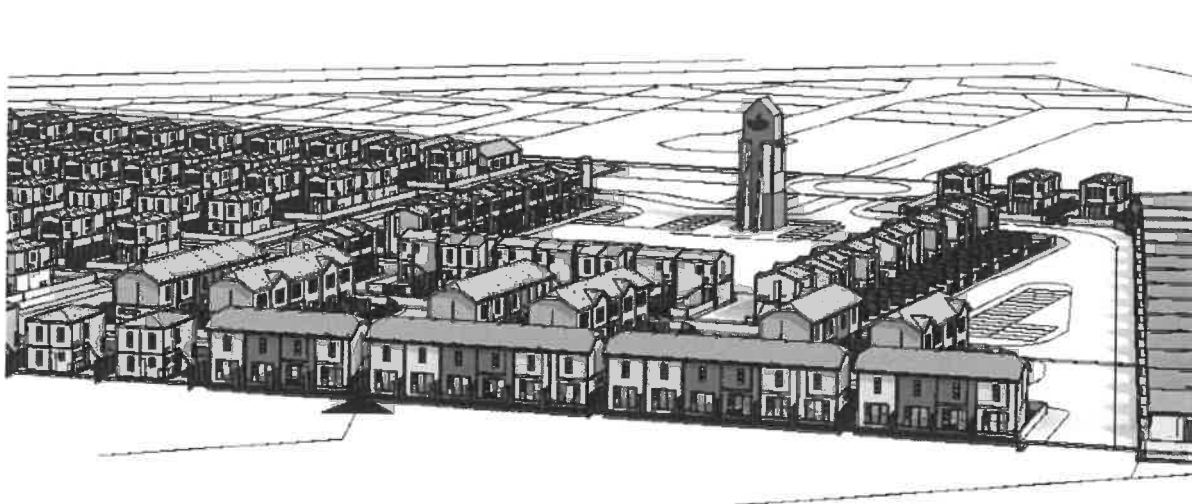
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2. Basic external building form guidelines.
 - a. Minimum Roof Pitches:
 - i. Single storey homes: Minimum Pitch is 22.5°.
 - ii. Double storey homes: Minimum Pitch is 7.5°.
 - iii. Garages: Minimum Pitch is 1°.
 - iv. Row Houses: Minimum Pitch is 22.5°.
 - b. Carports are permitted but may not protrude past the front of any single residential house's facade, row houses and village green homes may have carports on the street side of the building.
 - c. Garages may have flatter mono-pitch roof forms down to 1degree, however need to comply with the requirements of a fascia and/or parapets as listed elsewhere in these guidelines.
 - d. Garages need to be placed with a minimum setback of 5.5m from the street boundary on single residential homes
 - e. Alterations and additions are required to continue the same physical appearance of the existing buildings and vernacular.

3. Minimum Specification of building exteriors
 - a. Wall finishes is to be plaster and paint. Smooth plaster or wavy 'werf' wall type plaster is allowed and encouraged. Façade cladding, such as ship-lap and stone is permitted.
 - b. All roofs are required to have a fascia of at least 150mm high.
 - c. Window materials and types may vary throughout the suburb, however required to be uniform throughout an individual building.
 - d. Alterations and additions may not consist of temporary or shack like structures.
 - e. Wendy houses and garden tool sheds are permitted as free-standing structures, but limited to be no larger than 2500x2500mm in plan. Notwithstanding, a submission for a larger Wendy house may be submitted to the Local Authority for approval with reasonable motivation.
 - f. Furthermore, wendy houses and tool sheds may not be used for human occupation.
 - g. Parapet walls need a coping with a minimum of 20mm overhang and a minimum of height of 50mm.

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Village Ridge Architectural Comments Received and Motivations

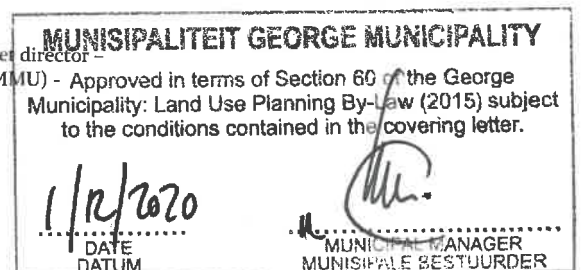
28 September 2020

Dear Jeanne Fourie.

The Aesthetics committee of George Sent on and email Via Jeanne Fourie, two sets of comments.

Listed below are the comments received from the Aesthetics Committee.

- OTB Architects (pty) ltd 2017/193470/07 - P.J. de Wet director -
- PR.Arch 2475 1047 (SACAP) - M.Arch.Prof (NMMU) -



1. 2020-07-23 From Bill Farrenkothen:

From: Vasti Laws
Sent: Thursday, 23 July 2020 14:36
To: Nicolaas Koen <Njkoen@george.gov.za>; Delia Power <Dpower@george.gov.za>; Johannes Labuschagne <jl@labuschagne@george.gov.za>; John Terblanche <jhterblanche@george.gov.za>; Stephen Saunders <Sinsaunders@george.gov.za>
Cc: Jeanne Fourie <jfourie@george.gov.za>
Subject: Re: Village Ridge

Sien asb. kommentaar vanaf Esteties komitee. Heno Bosman het nog geen terugvoering gegee nie.

Bill Farrenkothen:

Hi Jeanne/Hannes/Vasti

I like the scheme, where is it located?

Comments as to aesthetics:

1 – Please do not encourage the use of precast concrete panel walls unless they are plastered. My feeling is this will detract from the overall aesthetic of the project.

2 – No Palisade fencing as this will also detract from the 'werf' style being envisaged.

3 – Persons in this development should be encouraged not to build boundary walls between and on the street side of the units. Hedges and fences create neighbours and strengthen communities.

Compliment OTB on the public open space provided.

Sincerely

WH Farrenkothen

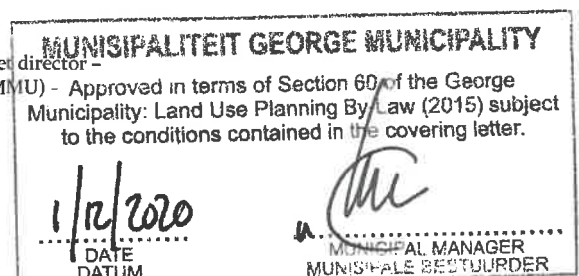
Pr.Arch

In response to the above, the guidelines dated 28 Sep 2020 have been amended to :

1. Exclude Palisade Fencing.
2. The requirement to build a boundary wall has been relaxed in agreement.

Point no. 1 on Bill's comment we feel the need to contest. Vibracrete has been used delicately in the scheme in that it does not face any public street and that it may only used between two residential plots further back on the property. We also feel that plastered vibracrete has proven not to age well given that its prone to cracking. Therefore the guidelines are kept to allow the vibracrete as requested. Further notes have been applied that do not allow vibracrete walls facing any public site to reassure.

- OTB Architects (pty) ltd 2017/193470/07 – P.J. de Wet director –
- PR.Arch 2475 1047 (SACAP) – M.Arch.Prof (NMMU)



The 2nd set of comments were also from Bill Farrenkothen on 2020-07-24

These read:

From: Vasti Laws
Sent: Friday, 24 July 2020 14:39
To: Jeanne Fourie <jfourie@george.gov.za>
Cc: Delia Power <dpower@george.gov.za>; Nicolaas Koen <Nikoen@george.gov.za>; Johannes Labuschagne <jlilabuschagne@george.gov.za>
Subject: Re: Village Ridge

Good day,

Please see comment from Aesthetic Committee members:

Heno Bosman still to comment.

Bill Farrenkothen:

Hi Vasti

This project will sit well on the property.

I approve of the aesthetic from my side.

Sincerely

WH Farrenkothen

Pr.Arch



FARRENKOTHEN ARCHITECTS FARRENKOTHEN ARCHITECTS
SATA Member No 5846 SATA Member No 5846
SACAP Reg No 4855 SACAP Reg No 4855
15 Caledon St 15 Caledon St
P.O.Box 614 P.O.Box 614
George George

To date, no other comments were received.

I trust that the document and its content meets the standard of the committee and thank you so for recognizing the public space, I truly look forward to seeing it built and the energy that the site will have.

Sincerely



Jay de Wet

Pr.Arch 2475 1047

- OTB Architects (pty) ltd 2017/193470/07 – P.J. de Wet director –
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